

# YOUR HOMEOWNER'S ASSOCIATION PROPERTY IMPROVEMENT HANDBOOK

## Property Improvement Memo

## PIM 2

### SHEDS AND STORAGE UNITS

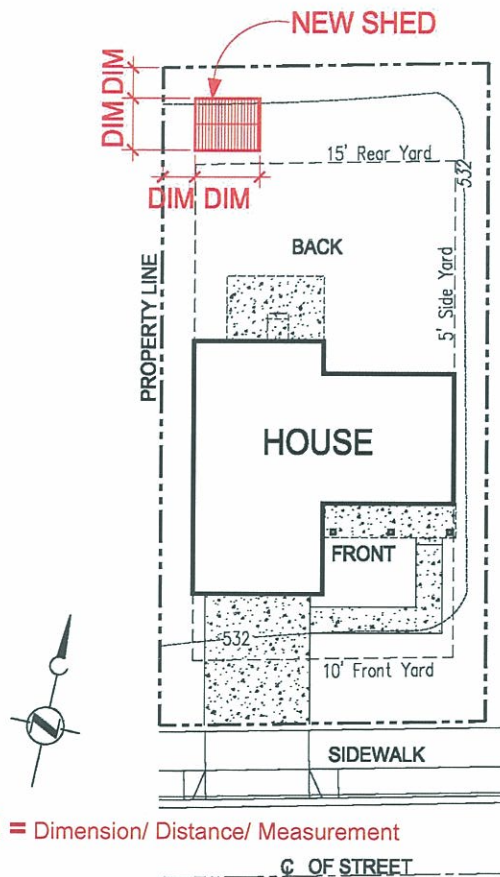
### Application and Construction Requirements

The following Property Improvement Memo has been provided to assist Homeowners in preparing property improvement applications to the Association. It lists information which must appear on submitted applications.

#### Sample Site Plan

See Definitions for *Site Plan*.

The Sample Site Plan below shows additional information needed, in red, for application of sheds and storage units.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements:

- Completed Application Form
- Site Plan - Please, use site plan of your actual property provided by your Developer/Builder as basis for application.

#### Please add to the Site Plan:

- Drawing of proposed location of new shed or storage
- Setbacks and shed dimensions indicated
- Dimensions from edges of shed or storage to property line
- Photograph or drawing of the type of proposed shed or storage to be built

You may be required to provide additional information, including a professional survey, to meet specific requirements of the Property Improvement Committee.

We urge you to not begin construction until you receive all of the appropriate approvals.

#### Construction Requirements:

- Sheds and storage units must be constructed of wood. See Figures A and B.
- Prefabricated metal, rubber, plastic or glass sheds are not allowed. See Figure C.
- The plan dimensions of the shed or storage unit must not exceed 120 square feet.
- Sheds must be shielded by fence.
- Sheds or storage shall be maintained in a clean, neat and orderly condition at all times
- Sheds or storage units must not violate any building setbacks, impervious restrictions or other requirements of the local jurisdiction.
- Sheds or storage units cannot be placed over infiltration trenches or bioswales.
- The area of shed or storage needs to be included in the impervious surface calculations. (See PIM4 for calculation method)

#### Construction Recommendations:

- Sheds or storage should have siding that matches the color and type of siding of your residence and should not detract from the uniform quality and appearance of your neighborhood. See Figures A & B.
- Roofing materials and/or color should match your home and must not detract from the uniform quality and appearance of your neighborhood.
- Sheds or storage should not exceed 9 feet in height.

**Property  
Improvement Memo**  
**SHEDS AND STORAGE UNITS**  
*Examples*

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**Figures A & B**

The following sheds are **ACCEPTABLE**:



**Figure C**

The following shed types are **NOT ACCEPTABLE**:



- Sheds or storage should be located on the interior side or rear of property.

You, the applicant, have the sole responsibility for ensuring full compliance with setbacks, easements, permits, fees, ordinances and restrictions associated with the modification of your property.

Washington law requires you to "Call Before You Dig", prior to any digging or excavation to protect you and underground utilities ( [www.callbeforeyoudig.com](http://www.callbeforeyoudig.com), 1-800-424-5555 )

Approval by Property Improvement Committee does not constitute approval by any other jurisdiction, regulation or restriction.

*You, the applicant, have the responsibility to submit for PIC approval even if your proposed improvement follows the requirements described in this Property Improvement Handbook.*