

# YOUR HOMEOWNER'S ASSOCIATION PROPERTY IMPROVEMENT HANDBOOK

## Property Improvement Memo

# PIM 7

### HOT TUBS AND POOLS

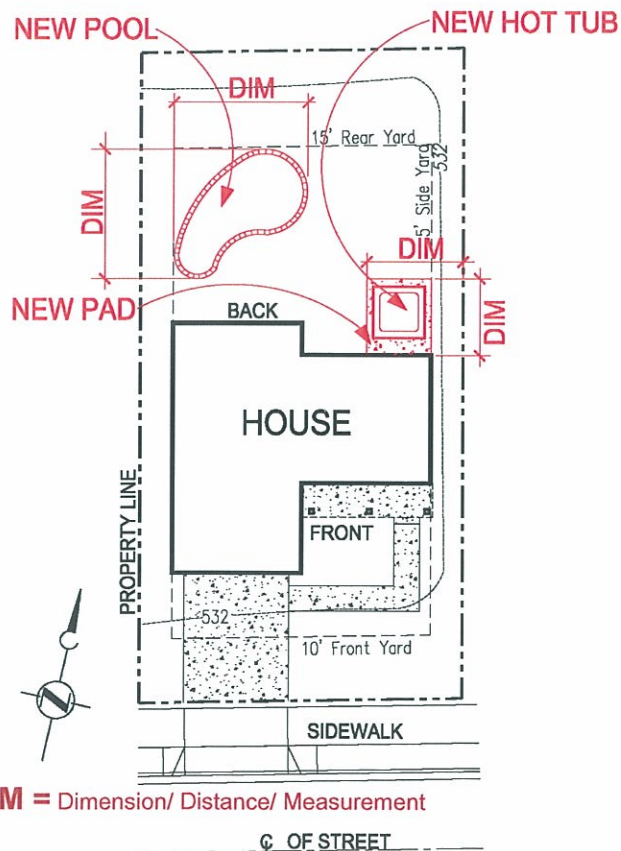
### Application and Construction Requirements

The following Property Improvement Memo has been provided to assist Homeowners in preparing property improvement applications to the Association. It lists information which must appear on submitted applications.

#### Sample Site Plan

See Definitions for *Site Plan*.

The Sample Site Plan below shows additional information needed, in red, for application of hot tubs and pools.



**DIM** = Dimension/ Distance/ Measurement

#### Application Requirements

- Completed Application Form
- Site Plan - Please, use site plan of your actual property provided by your Developer/Builder as basis for application.

#### Please add to the Site Plan:

- Drawing of proposed location, size and shape of new pool or hot tub
- Material, color and style of proposed pool or hot tub
- Picture of the hot tub and pool surround
- Impervious surface calculations

You may be required to provide additional information, including a professional survey, to meet specific requirements of the Property Improvement Committee.

*We urge you to not begin construction until you receive all of the appropriate approvals.*

#### Construction Requirements:

- Pools and Hot tubs should be at the rear of a house, but the PIC may consider alternate locations.
- Pools and hot tubs shall be maintained in a clean, functioning and orderly condition at all times.
- Pools need to be fenced according to local code requirements.
- Pools add to the impervious surface of the property; homeowner's need to understand this and must provide calculations of their property's impervious surface.
- If a hot tub is installed on a concrete pad, the pad will need to be included in the impervious surface calculations.
- Drainage of hot tubs and pools needs to be performed according to specific regulations of your Community and jurisdiction.
- If your Association operates on a septic system, you must comply to all the septic and storm drainage regulations specific to your Community. Please, refer to a separate set of hot tub and pool drainage and usage rules published for your Community.
- Above grade pools are not allowed with an exception of children's wading pools, which can be maximum 8' in diameter and must be put away if not in use.
- The installation of an in-ground swimming pool is a major undertaking. It is highly recommended to submit a PIC application for preliminary approval (prior to building)

#### Construction Recommendations:

- Temporary and portable pools and hot tubs are discouraged. See Figure B.

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### **HOT TUBS AND POOLS** *Examples*

Figure A

#### Configurations RECOMMENDED



- Pools and hot tubs should be designed to minimize sight and sound impact upon adjoining properties.
- Pool heaters and pumps should be screened from view and sound insulated. Pool and mechanical equipment must comply with applicable codes regarding fencing.
- Materials should blend with the natural surroundings, or have screening installed and colored to match the surrounding structure.
- Hot tubs may have natural wood surround corresponding with adjacent deck or surround that matches the color of the house. See Figure A.
- Screening and landscaping to soften the look of the hot tub and pool is encouraged.
- Hot tubs should be installed in a fenced back yard.
- Special consideration should be given to avoid excessive hot tub noise, especially in the evening.

You, the applicant, have the sole responsibility for ensuring full compliance with setbacks, easements, permits, fees, ordinances and restrictions associated with the modification of your property.

Washington law requires you to "Call Before You Dig", prior to any digging or excavation to protect you and underground utilities ( [www.callbeforeyoudig.com](http://www.callbeforeyoudig.com), 1-800-424-5555 )

Approval by Property Improvement Committee does not constitute approval by any other jurisdiction, regulation or restriction.

Figure B

#### Configurations NOT RECOMMENDED



*You, the applicant, have the responsibility to submit for PIC approval even if your proposed improvement follows the requirements described in this Property Improvement Handbook.*